

FOR SALE
\$3,400,000

The Penegar Buildings
Historic Properties In the Heart of Downtown Gastonia



164, 170, 176, 178 W Franklin Blvd | Gastonia NC 29052



Mountain View
Commercial Real Estate

1556-A Union Road, Gastonia, NC 28054

For More Information: 980-522-8363

Mo Sallah

Mo@mvcommercialre.com

Patty Neinast

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A Rare Opportunity in the Heart of Downtown Gastonia

Locally known as The Penegar Buildings, these four adjoining properties are a contributing part of the Downtown Gastonia National Register Historic District and are recognized for their unique historic significance by Preservation North Carolina. With storefronts on West Franklin Blvd near the corner of South Street, the buildings have excellent visibility. Included in the sale is the adjacent private parking lot in rear with entrance on South Street. The properties are adjacent to the Gastonia Conference Center and Center City Crossings apartment complex (occupancy March 2024). Combined 20,075 SF +/- with good flexibility for configuration. 176 W Franklin has been updated and sealed off for standalone use and currently has a tenant in place.




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Property Information

- Parcel ID #s: 105824, 105823, 105822, 105826
- 20,075 +/- SF (combined)
- Private parking lot at rear of buildings
- Full Basement (176), Partial Basement (164)
- Roofs updated 2023
- Partial HVAC and electrical updates
- Built in 1910, 1920, 1946
- National Historic Register Contributing Buildings
- Zoned CBD (Central Business District)
- Opportunity Zone
- Charlotte Douglas International Airport 16 miles
- Potential eligibility for historic tax credits



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Recent Nearby Investment

- Center City Crossings: \$25 million investment by Kuester Development, 90 market-rate apartments, occupancy March 2024
- Trenton Mill: \$25 million investment by LMG Development, 85 market-rate apartments
- Rustins: \$3 million by TRW LLC, 3 above market-rate condo units and retail space
- Dirty Bull: \$2 million, new brewery in FUSE District
- Franklin Yards: \$50 million investment by Highline Partners, 230 market-rate units and commercial space
- Loray Mill, Phase 2: Minimum \$32 million investment by Tribridge Partners, residential and commercial
- The Esquire; Boutique hotel and restaurant

*Source: Gastonia Downtown Development, City of Gastonia



Tom Hauer
Photography


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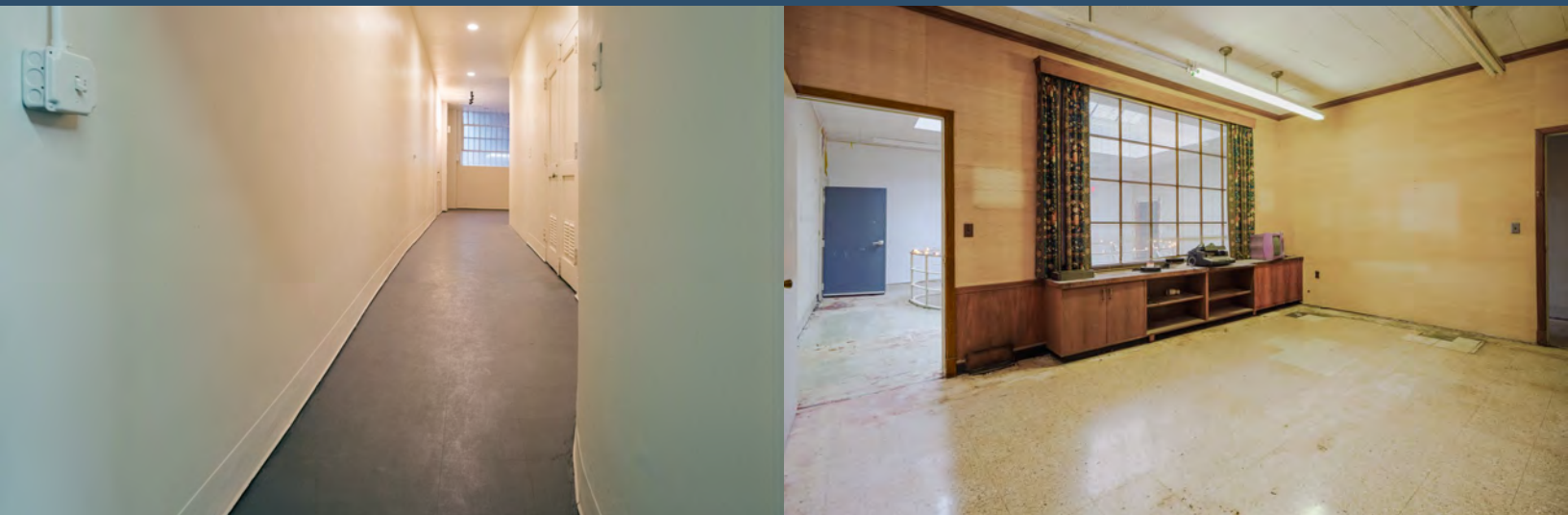
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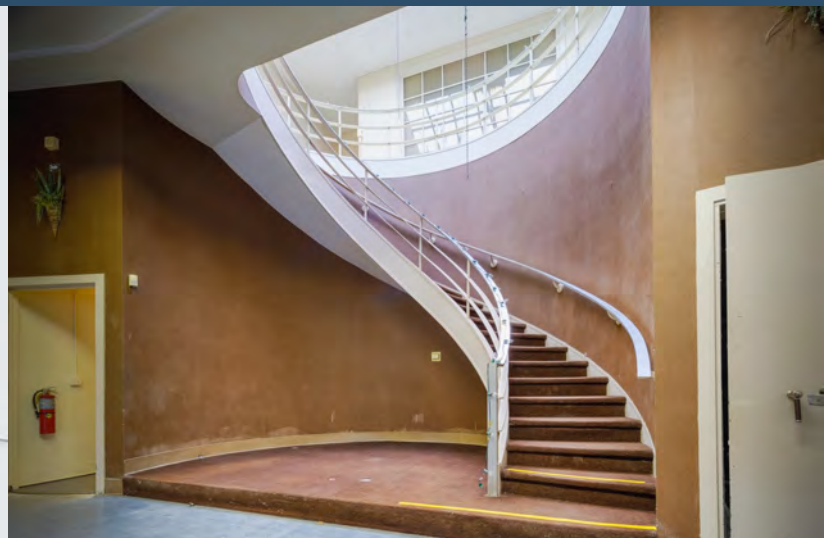
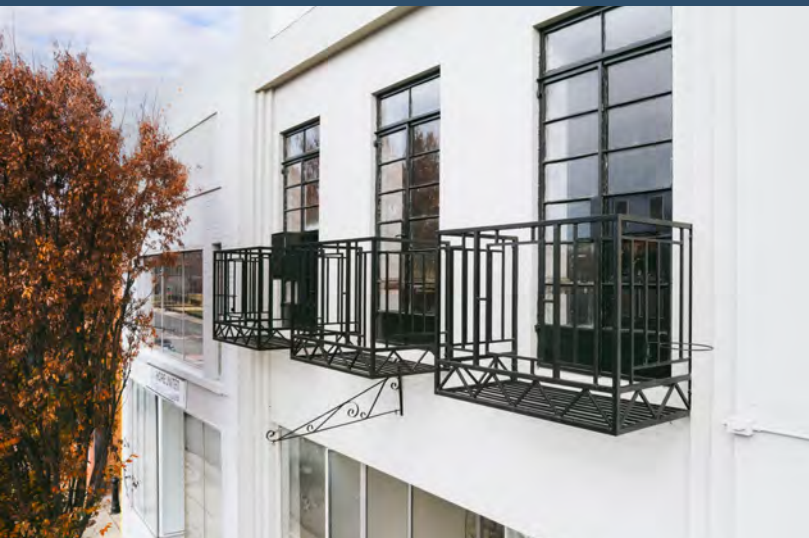
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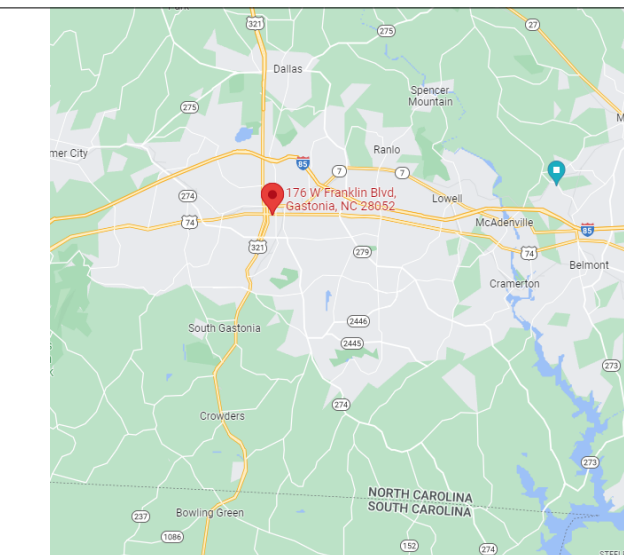
INTERIOR UPFIT FOR PENEGAR BUILDING

176 W FRANKLIN BLVD, GASTONIA NC 28052

ARCHITECTURAL ABBREVIATIONS

A ABOVE	C CABINET	DR DOOR	FC FIRE CODE	H.B. HORIZONTAL LOUVER BLINDS	M.B.D. MARKERBOARD	P ROOM	TEMP TEMPERATURE	W WITH
AFV ABOVE FINISHED CEILING	CR CARD READER	DRL DOUBLE	FEC FIRE EXTINGUISHER CABINET	H.B.G. HOT-DIPPED GALVANIZED HOUR GLASS	M.C. MASONRY OPENING	R.D. ROOM OPENING	T.W.C. TEXTILE WALL COVERING	W.O. WITHOUT
AFR ABOVE FINISHED FLOOR	CRP CARPET	DN DOWN	FHC FIRE HOSE CABINET	HRS HOUR, HOURS	M.M. MAMMAM	S SANITARY NAPKIN DISPOSAL UNIT	T.P. TOILET PARTITION	W.M. WOMEN
AP ACCESS PANEL	CPT CARPET TILE	DS DOWNSPOUT	FRTWD FIRE RETARDANT TREATED WOOD	I IN ACCORDANCE WITH	M.E.C. MECHANICAL	S.V. SANITARY NAPKIN VENDOR	T.T.D. TOILET TISSUE DISPENSER	W.W. WOOD
ADCU ADJUSTABLE	C.B. CEILING	DWR DRAWER	FLR FLOOR	INCH INCH	M.C. MEDICINE CABINET	S.U. SAWM JOINT	T.O. TOP OF	
ADU ADJUSTABLE	C.B.B. CEILING	DWR DRAWING	FLD FLOOR DRAIN	INCL INCLINING	M.B. MBRINE	S.S. SCHEDULE	T.O.D. TOP OF DRAIN	
ADM ADMINISTRATIVE	C.C. CENTERLINE	E EACH	FOLD FOLDING PARTITION	INSUL INSULATED	M.D. MIDDLE	S.E.C. SEALED	T.O.M. TOP OF MASONRY	
AGG AGGREGATE	C.L. CENTERLINE	E.A. EACH WAY	FR FOOT SCRAPER	INT INSULATED	M.P.H. MILES PER HOUR	S.E.C. SECONDARY	T.O.P. TOP OF STEEL	
AGD AIR CONDITIONING	C.E. CERAMIC TILE	E.W.C. ELECTRIC WATER COOLER	FUR FURRING	INSUL INSULATED	M.L. MILLIMETER	S.S.K. SECURE HOLLOW METAL	TYP TYPICAL	
AHU AIR HANDLING UNIT	C.H.S. CHANGING ROOM	ELECT ELECTRICAL	FY FLOOR YIELD STRESS	INT INTERNATIONAL BUILDING CODE	M.N. MINIMUM	S.S.K. SERVICE SINK	U UNIFORM BUILDING CODE	
ALT ALTERNATE	C.L.R. CLEAR	ELEV ELEVATION	G GALV GALVANIZED	INT INTERNATIONAL ENERGY CONSERVATION CODE	M.M. MISCELLANEOUS	S.H.T. SHEET	U.N.C. UNLESS OTHERWISE NOTED	
AL ST ALUMINUM STOREFRONT	C.L.O. CLOSET	EQU EQUIPMENT	G.C. G.C. GENERAL CONTRACTOR	J JANITOR	M.M.P. MASONRY OPENING	S.H.R. SHOWER	U.S.C. URINAL SCREEN	
ALUM ALUMINUM	C.H.H. COLD FORMED METAL FRAMING	ETC ETCETERA	G.G. GENERAL CONTRACTOR	J.E.T. JOIST	M.L. MALLON	S.R. SHOWER ROD	U.T.L. UTILITY	
A AMP AMPERE	C.F.M. COLD FORMED METAL FRAMING	EXH EXHAUST	G.M. GENERAL CONTRACTOR	J.E.T. JOIST	M.T.C. MULTI-TONE COLOR SYSTEM	S.S.M. SINGLE	U.T.L. UTILITY	
AB ANCHOR BOLT	C.O. CONCRETE	EXH EXHAUST FAN	G.M.M. GENERAL CONTRACTOR	J.E.T. JOIST	N NEGATIVE	S.S. SOLID CORE	V.V.R. VENT THROUGH ROOF	
AND ANODED	C.O.M. CONCRETE MASONRY UNIT	EL EXIST EXISTING	G.S.T. GLASS STRUCTURAL FACING TILE	J.E.T. JOIST	NA NOT APPLICABLE	S.C.V. SOLID CORE FILLISH VENEER	V.V.R. VENT THROUGH ROOF	
APPROX APPROXIMATELY	C.O.N. CONNECTION	EXP EXPANSION	G.D. GRADE	J.E.T. JOIST	N.C. NOT IN CONTRACT	S.P.A. SPACES	V.V.C. VENT THROUGH ROOF	
ARCH ARCHITECTURAL	C.O.N.T. CONTINUOUS	EXP EXPANSION JOINT	G.D. GRADE	J.E.T. JOIST	N.T.S. NOT TO SCALE	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
AWI ARCHITECTURAL WOODWORK	C.O.N.T. CONTROL JOINT	EXP EXPOSED	G.D. GRADE	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
ASSY ASSEMBLY	C.O.N.T. CORNER GUARD	EXP EXTERIOR	G.A. GAUGE	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
AT AT	C.O.R. CORRIDOR	EXP EXTERIOR GYPSUM SOFFIT BOARD	G.V.P. GYPSUM BOARD	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
ATS AUTOMATIC TRANSFER SWITCH	C.O.S. COURSE	EXP EXTERIOR INSULATION FINISH SYSTEM	G.W. GYPSUM WALL BOARD	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
AUX AUXILIARY	C.U. CUBIC	F FACE OF CONCRETE	H HANGCAPED ELECTRIC WATER COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B BEAM	C.U. CUBIC	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.B. BLOCK	C.T.K. CURTAIN TRACK	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.K.G. BLOCKING	D DAMPROOFING	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.D. BOARD	D.D. DEFORMED	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.L.D. BOLLARD	D.L. DETAIL	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.B. BOTTOM	D.L. DETAIL	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.T.U. BOTTOM	D.L. DETAIL	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.T.U. BRITISH THERMAL UNIT	D.L. DETAIL	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.Z. BRONZE	D.L. DETAIL	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.D. BUILDING	D.L. DETAIL	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	
B.O. BY OWNER	D.L. DETAIL	F.F. FACE OF MASONRY	H.C. HANGCAPED, HOLLOW CORE COOLER	J.E.T. JOIST	N.F. NOT FINISHED	S.F. SQUARE FEET	V.V.C. VENT THROUGH ROOF	

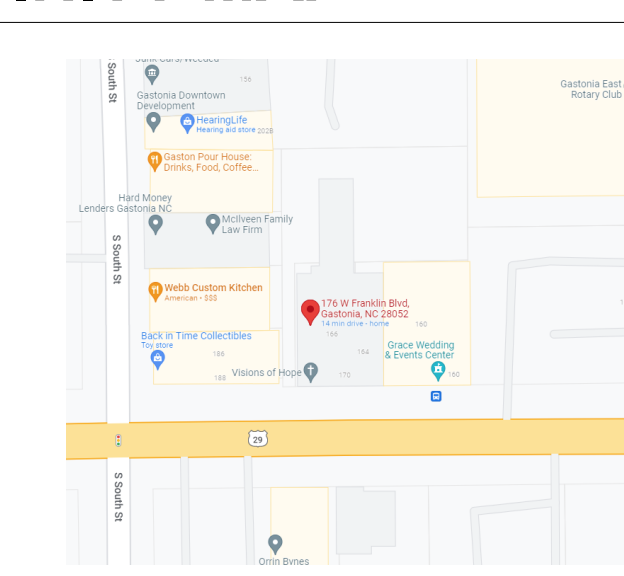
STATE MAP



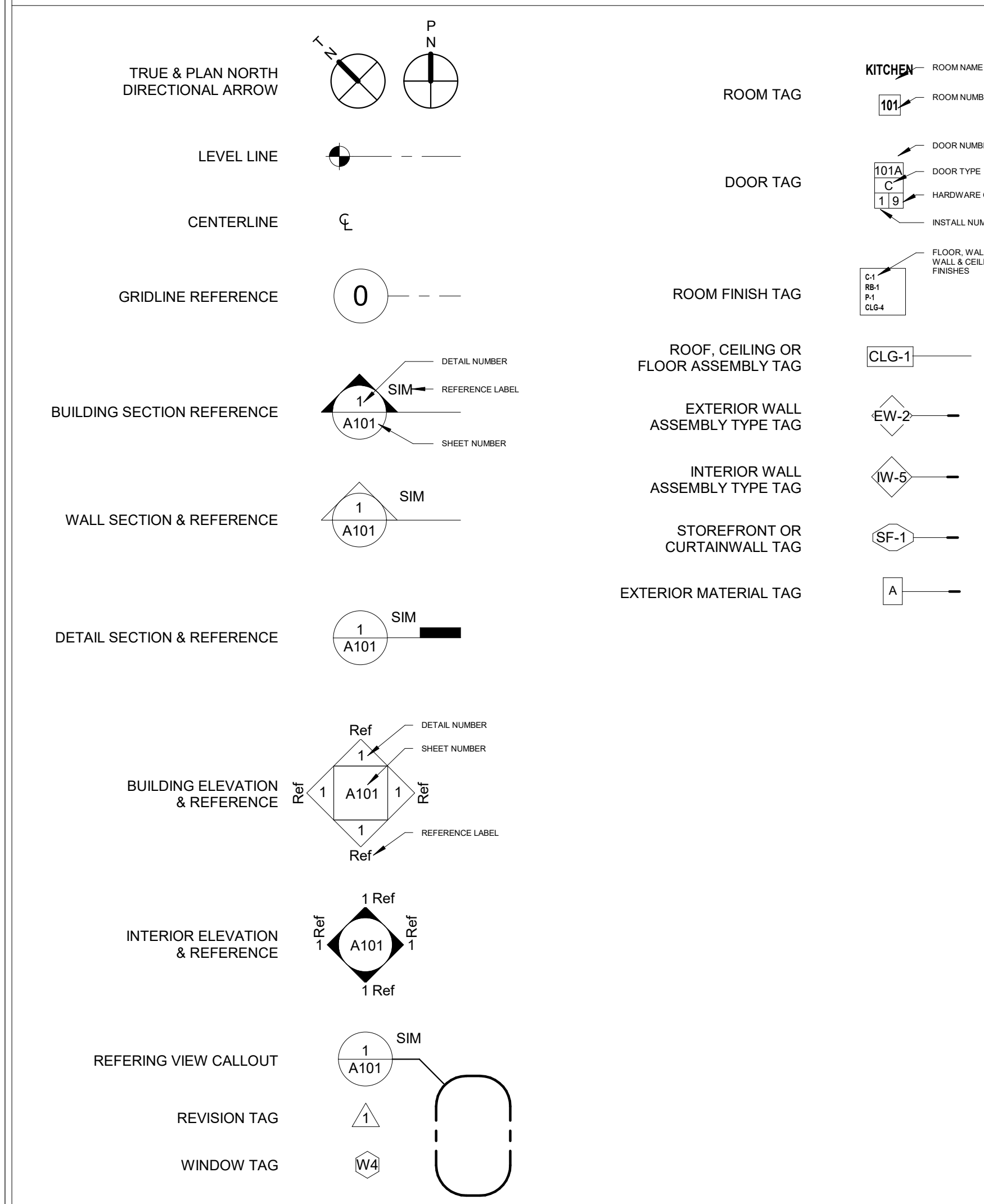
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- 4.11 FIRST FLOOR PLAN
- 4.12 SECOND FLOOR PLAN
- 4.70 ENLARGED PLANS AND MISC. DETAILS

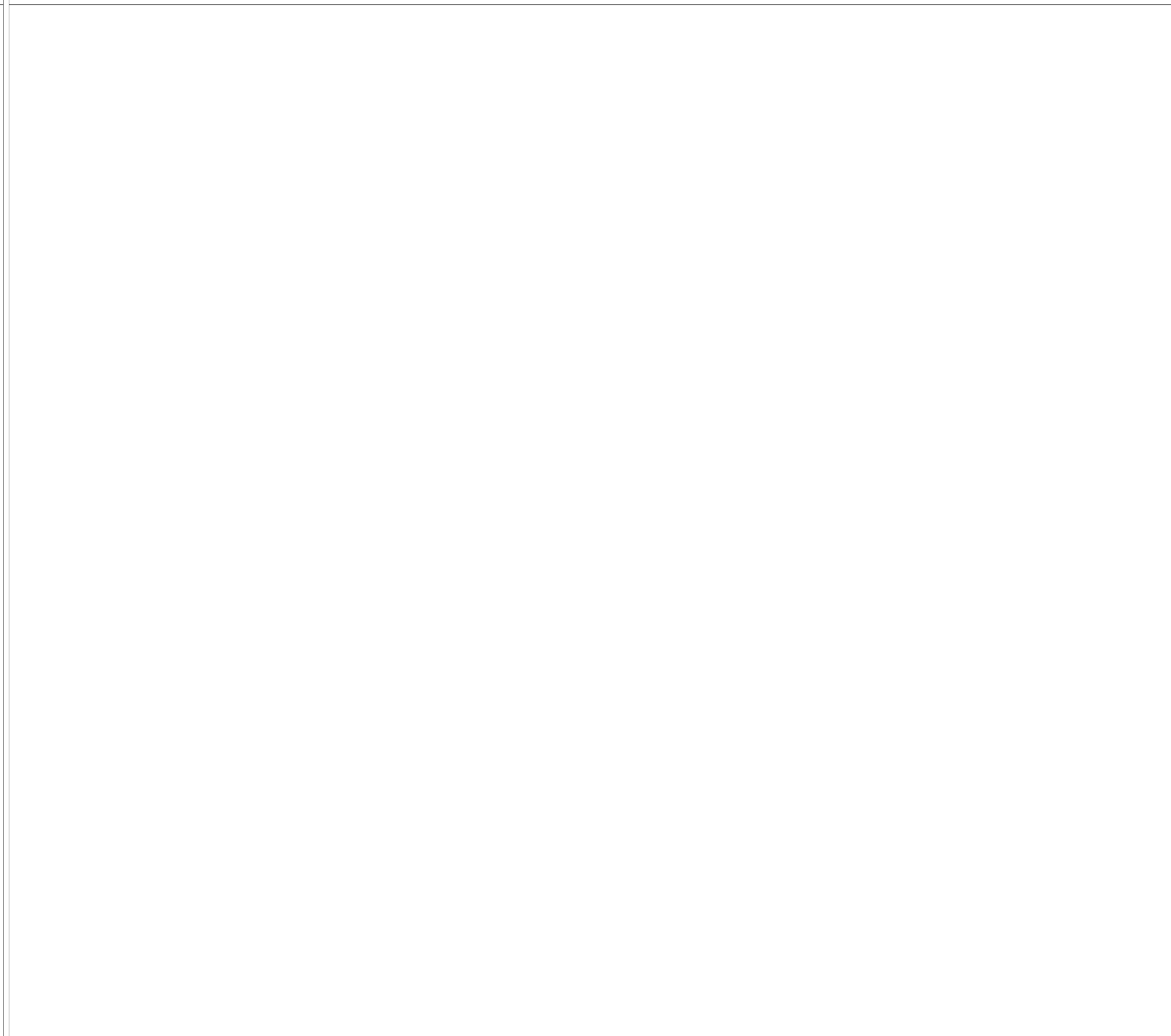
VICINITY MAP



ARCHITECTURAL SYMBOLS



PROJECT SIGN



PROJECT TEAM

ARCHITECT
STEWART COOPER NEWELL ARCHITECTS
 719 E. SECOND AVENUE
 GASTONIA, NC 28054
 ph: (704) 865-6311 fx: (704) 865-0046

NOTE

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS ON SITE FOR HIS/HER EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

Project No. 1725

Drawn by: GC
 Checked by: JCS
 Revisions:

1. 2022.09.30
 2. 2023.01.11
 Inspection and owner revisions

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 2. 2023.01.11
 Inspection and owner revisions

STEWART COOPER NEWELL ARCHITECTS, P.A.

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 www.scn-architects.com

1-800-671-0621

PENEGAR BUILDING
 176 W FRANKLIN BLVD, GASTONIA, NC

COVER

Sheet No. 0.00

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOMES)

Name of Project: INTERIOR RENOVATIONS TO THE PENEGAR BUILDING
Address: 176 W FRANKLIN BLVD, GASTONIA NC Zipcode: 28052
Owner/Authorized Agent: Dewey Anderson Phone # 336-608-0370 E-Mail: dewey@blackpinedevelopment.com
Owned By: City/County Private State
Code Enforcement Jurisdiction: City: Gastonia County: State

CONTACT:	DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	Stewart-Cooper-Newell Architects	James Stewart	1888	704-865-6311	jstewart@scn-architects.com	
Civil	n/a					
Electrical	n/a					
Fire Alarm	n/a					
Plumbing	n/a					
Mechanical	n/a					
Sprinkler/Standpipe						
Structural						
Retaining Walls>5' High	n/a					
Other-Foundation Plan	n/a					

2018 NC BUILDING CODE: New Building Addition Renovation
 1st Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedure and requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedure and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTED: (Date) 1920 CURRENT OCCUPANCY (S): (Ch. 3): B
RENOVATED: (Date) PROPOSED OCCUPANCY (S): (Ch. 3): B

RISK CATEGORY (Table 1604.5): Current: I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II Wet Dry
Fire District: No Yes Flood Hazard Area: No Yes
Special Inspection Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

FLOOR	EXISTING	ALLOWABLE AREA
BASEMENT 1	2329 SF	
BASEMENT 2	648	
1ST FLOOR - REAR	1352	
1ST FLOOR	6906	
2ND FLOOR	8842	
TOTAL	19,876 SF	4,011 SF

Primary Occupancy Classification (s):
Assembly A-1 A-2 A-3 A-4 A-5
Business B
Educational E
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 De/Flagrate H-3 Combust H-4 Health H-5 HPM
Institutional I-1 Condition I-2 Condition I-3 Condition I-4
Mercantile M
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-Piled
Utility and Miscellaneous Parking Garage Open Enclosed Repair Garage

Accessory Occupancy Classification(s): \$
Incidental Uses (Table 509): n/a
Special Uses (Chapter 4 - List Code Sections): n/a
Special Provisions (Chapter 5 - List Code Sections): n/a
Mixed Occupancy: No Yes Separation: Hr. Exception:

Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 ¹ AREA	(C) AREA FOR FRONTAGE INCREASE ^{2,3}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}	(E) MAXIMUM BUILDING AREA ⁴

¹ Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase I_f = 100[F/P - 0.25] x w/30 = (%)
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The Maximum area of open parking garages must comply with Table 406.5.4.

ALLOWABLE HEIGHT	SHOWN ON	CODE REFERENCE ¹
Building Height in Feet (Table 504.3) ²		
Building Height in Stories (Table 504.4) ³		

¹ Provide code reference if the "Shown on" is not based on Table 504.3 or 504.4
² The maximum height of air traffic control towers must comply with Table 412.3.1.
³ The maximum height of open parking garages must comply with Table 406.5.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET#	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior		0	0				
North		0	0				
East		0	0				
West		0	0				
South		0	0				
Interior		0	0				
Nonbearing Walls and Partitions							
Exterior walls		0	0				
North		0	0				
East		0	0				
West		0	0				
South		0	0				
Interior walls and partitions							
Floor Construction							
Including supporting beams and joists		0	0				
Floor Ceiling Assembly		0	0				
Columns Supporting Floors							
Roof Construction, including supporting beams and joists		0	0				
Roof Ceiling Assembly							
Columns Supporting Roof							
Shaft Enclosures - Exit	N/A	N/A					
Shaft Enclosures - Other	N/A	N/A					
Corridor Separation	0	0					
Occupancy/Fire Barrier Separation	2 HR	2 HR	1.10	U301/U465			
Party/Fire Wall Separation	0	0					
Smoke Barrier Separation	0	0					
Smoke Partition	0	0					
Tenant/Dwelling Unit/ Sleeping Unit Separation	0	0					
Incidental Use Separation	0	0					

PERCENTAGE OF WALL OPENING CALCULATIONS

BUILDING	FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.4)	ALLOWABLE AREA	ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #:
 Fire and smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
 Dead end lengths (1024.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
NOT APPLICABLE							

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE		WATER CLOSETS			URINALS			LAVATORIES			SHOWERS / TUBS	DRINKING FOUNTAINS	
		MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE				
BASEMENT	EXISTING	0	0	0	0	0	0	0	0	0	0	0	0
	NEW	0	0	0	0	0	0	0	0	0	0	0	0
LEVEL 1	EXISTING	0	0	0	0	0	0	0	0	0	0	0	0
	NEW	0	0	1	0	0	1	0	0	0	0	0	0
LEVEL 2	EXISTING	1	2	2	0	0	1	0	0	0	0	0	0
	NEW	0	0	1	0	0	2	0	0	0	0	0	0
	REQ'D	0	0	1	0	0	1	0	0	0	0	0	0

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES	
	REQUIRED (Table 105.1 #1-37)	PROVIDED	REQUIRED	PROVIDED

SPECIAL APPROVALS

(Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

SPECIAL APPROVAL:

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.
Existing building envelope complies with code: No Yes (Provide code or statutory reference):
Exempt Building: No Yes (Provide code or statutory reference):
Climate Zone: 3A 4A 5A
Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
(If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
total square footage of skylight in each assembly:
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:
Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

2018 NC Administrative Code and Policies

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Snow (L) _____ Seismic (I_s) _____
Live Loads: Roof _____ psf Mezzanine _____ psf Floor _____ psf
Ground Snow Load: _____ psf
Wind Load: Ultimate Wind Speed _____ mph (ASCE-7) Exposure Category _____

SEISMIC DESIGN CATEGORY:

Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) I II III IV
Spectral Response Acceleration S_s _____ %g S_i _____ %g
Site Classification (ASCE 7) A B C D E F
Data Source: Field Test Presumptive Historical Data
Basic Structural system Bearing Wall Dual w/ Special moment Frame Building Frame Dual w/ Intermediate R/C or Special Steel Moment Frame Inverted Pendulum Simplified Equivalent Lateral Force Yes No
Analysis Procedure: Architectural, Mechanical, Components anchored? Yes No
LATERAL DESIGN CONTROL: Earthquake Wind Wind

SOIL BEARING CAPACITIES:

Field Test (Provide copy of test report) _____ psf
Presumptive Bearing capacity _____ psf
Pile size, type, and capacity _____ psf

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb: _____
summer dry bulb: _____
Interior design conditions
winter dry bulb: _____
summer dry bulb: _____
relative humidity: _____
Building heating load: _____
Building cooling load: _____
Mechanical Spacing Conditioning System
Unitary
description of unit: _____
heating efficiency: _____
cooling efficiency: _____
size category of unit: _____
Boiler
Size category. If oversized, state reason: _____
Chiller
Size category. If oversized, state reason: _____
List equipment efficiencies: _____

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

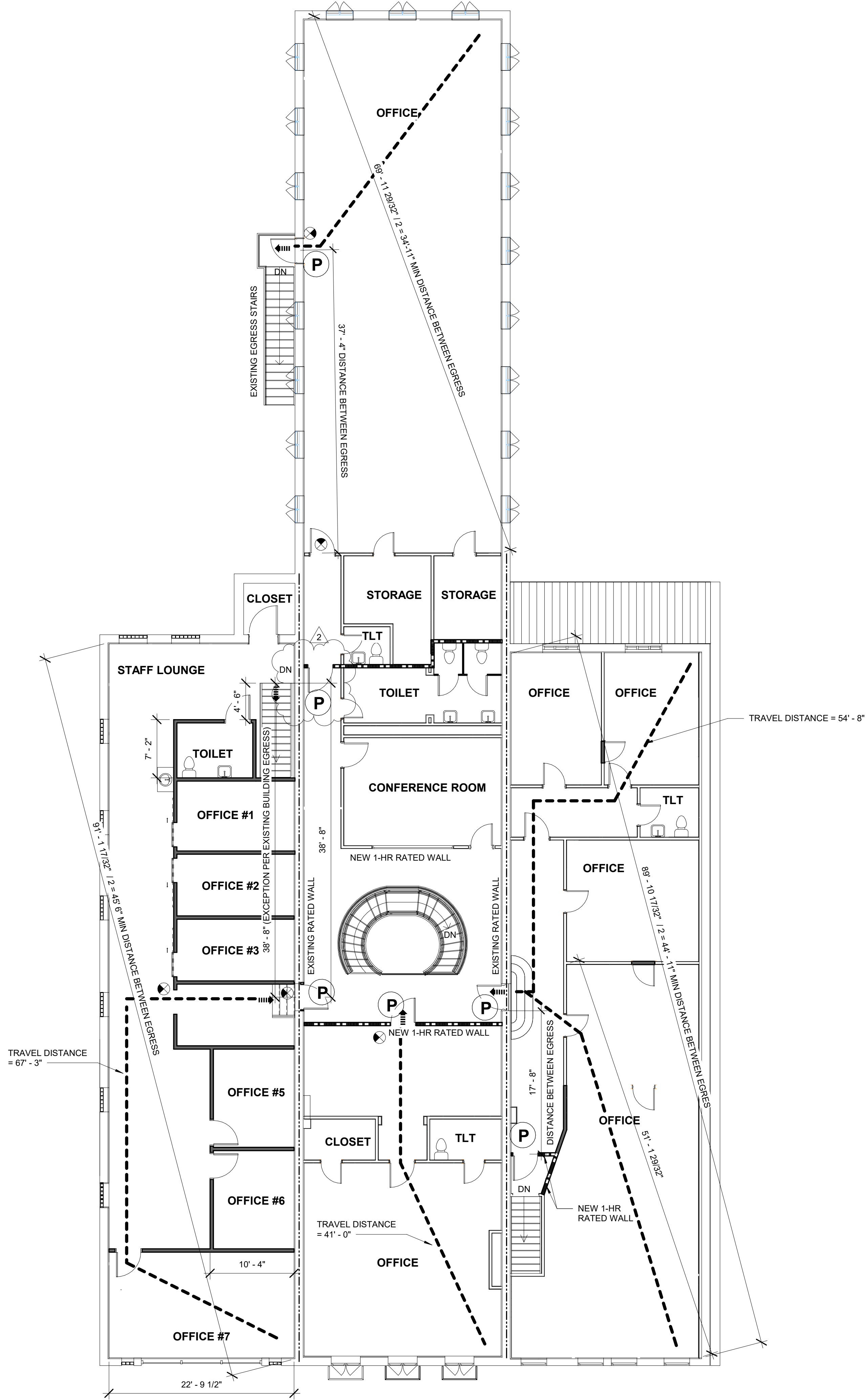
ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
Lighting schedule (each fixture type)
Interior Lighting:
63 Bldg 1838 _____ amps
54 Bldg 1850 _____ amps
117 LED strip fixtures w/ (4) - 4" _____ ach @ 68 watts per fixture = 120 = Amps
Exterior Lighting:
12 Bld 1838 _____ ps
13 Bldg 1850 _____ ps
25 LED wall paks @ 55 watts per fixture = 120 = Amps

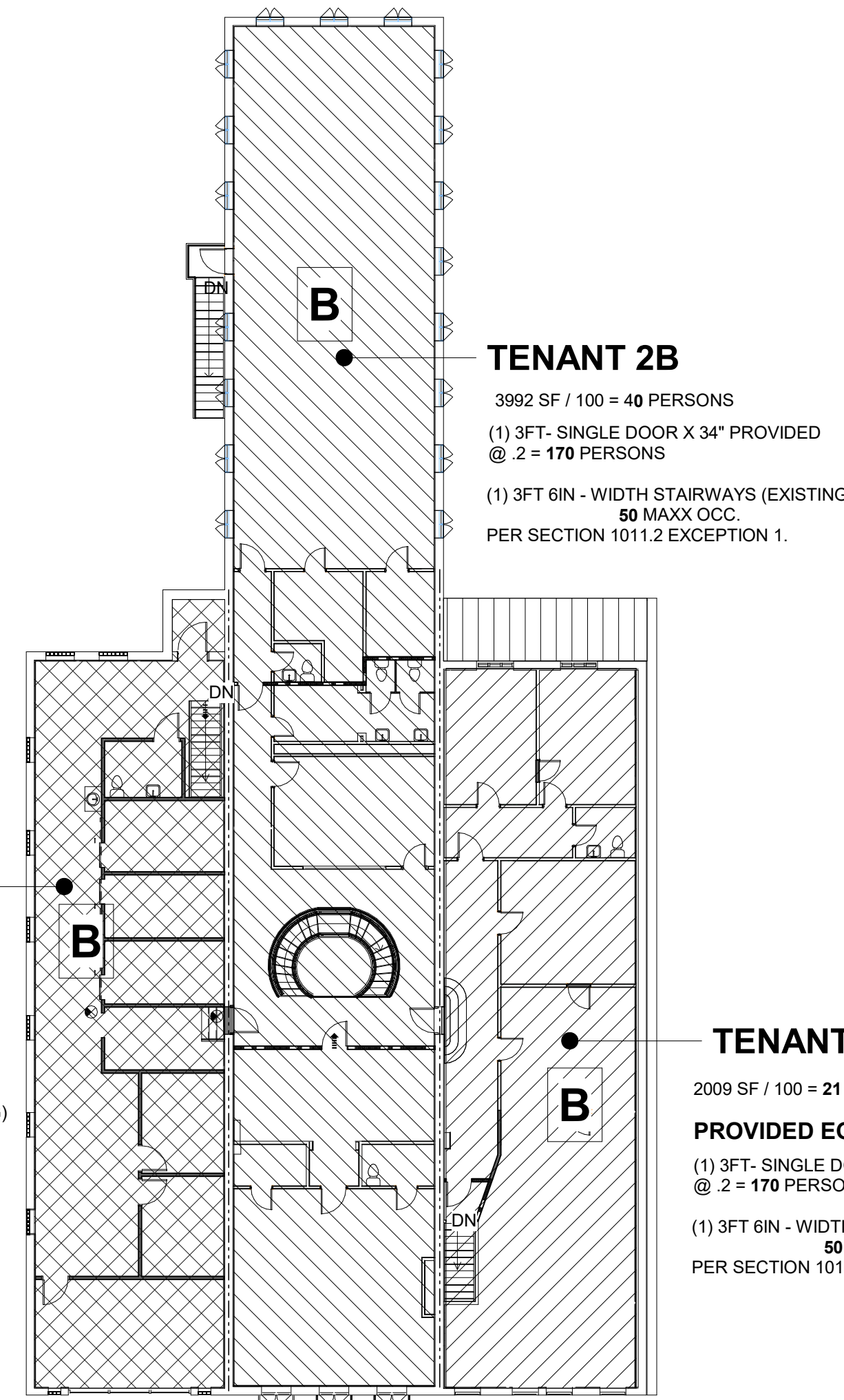
Additional Efficiency Package Options (When using the 2018 NEC, not required for ASHRAE 90.1)

C406.2 More Efficient HVAC Equipment Performance
 C406.3 Reduced Lighting Power Density
 C406.4 Enhanced Digital Lighting Controls
 C406.5 On-Site Renewable Energy
 C406.6 Dedicated Outdoor Air System
 C406.7 Reduced Energy Use in Service Water Heating

2018 NC Administrative Code and Policies



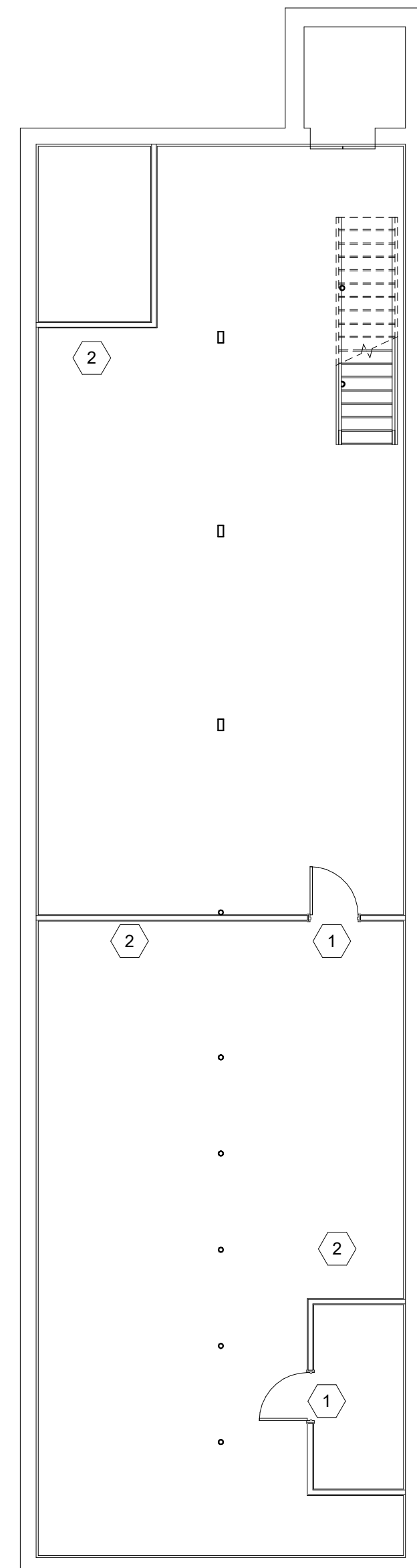
1 SECOND FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"



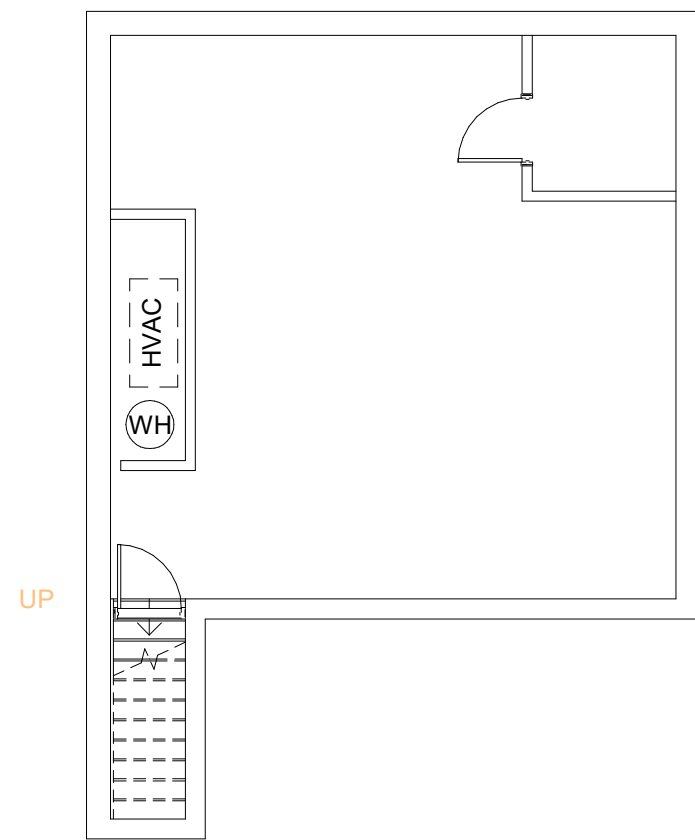
2 2ND FLOOR OCC. AREA CALCULATION
1/16" = 1'-0"

- NOTE:**
- SEE 2-HR RATED WALL ASSEMBLY
 - EXISTING 2-HR RATED WALL
 - SEE 1-HR RATED WALL ASSEMBLY
 - PANIC DOOR HARDWARE

1. ALL DEMOLITION SHALL BE SAW CUT TO NEAT, STRAIGHT LINES FOR JOINING NEW WORK TO EXISTING.
2. ALL DEMOLITION SHALL BE VERIFIED AND COORDINATED WITH NEW CONSTRUCTION AS DOCUMENTED.
3. CONTRACTOR SHALL PROVIDE AND INSTALL DUST AND DEBRIS PROTECTION IN ALL AREAS OF EXISTING STRUCTURE WHERE NO WORKS IS TO TAKE PLACE. UPON COMPLETION OF WORK DEMOLISH AND REMOVE PROTECTION.
4. CONTRACTOR SHALL RETAIN FIRE RATING AT ALL EXISTING RATED WALLS. ANY AND ALL OPENINGS OR PENETRATIONS LEFT AFTER DEMOLITION MUST BE INFILLED AND/OR SEALED AS REQUIRED BY APPLICABLE CODES.

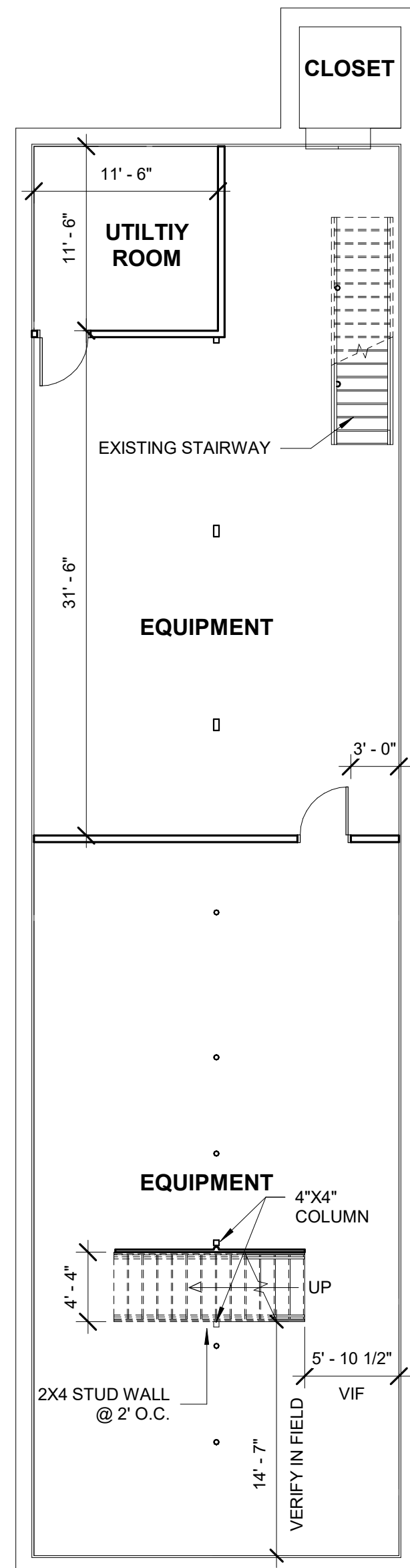


1 BASEMENT FLOOR DEMO PLAN
1/8" = 1'-0"

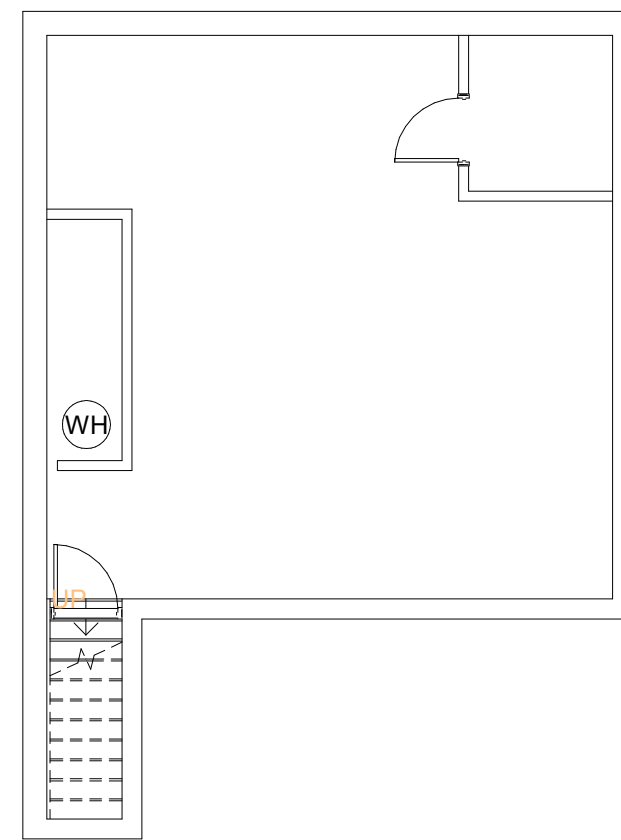


KEYED NOTES :

- 1 - REMOVE DOOR, HARDWARE AND DOOR FRAME
- 2 - DEMO EXISTING WALLS, ELECTRICAL BOXES AND DEVICES (NOTE: LICENSED ELECTRICIAN SHALL PERFORM ALL ELECTRICAL ITEMS)



2 BASEMENT FLOOR PLAN
1/8" = 1'-0"



Project No.
1725

Date:
11/11/2023 3:18:34 PM
Drawn
GC
Checked by:
JCS

Revisions:
1. 2022.09.30
Owner revision

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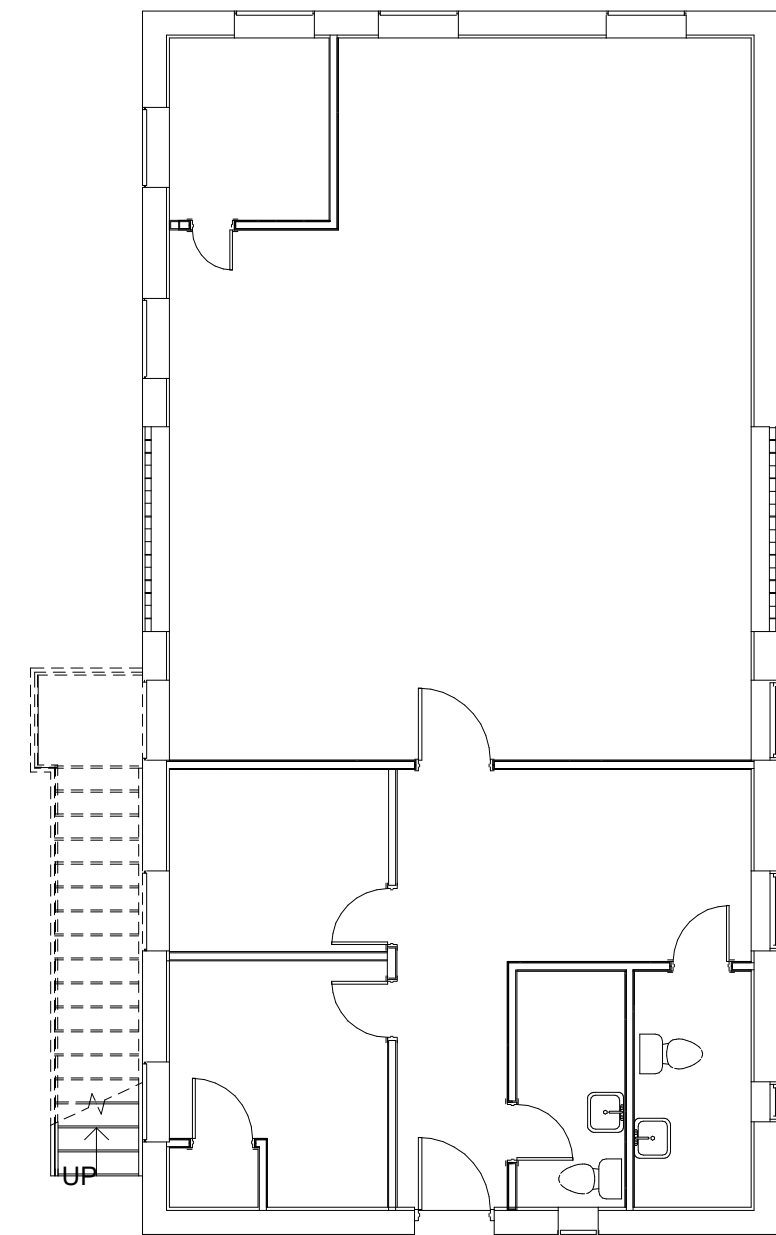
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05/02/2022

PENEGAR BUILDING
176 W FRANKLIN BLVD, GASTONIA, NC
BASEMENT FLOOR PLAN

Sheet No.
4.10

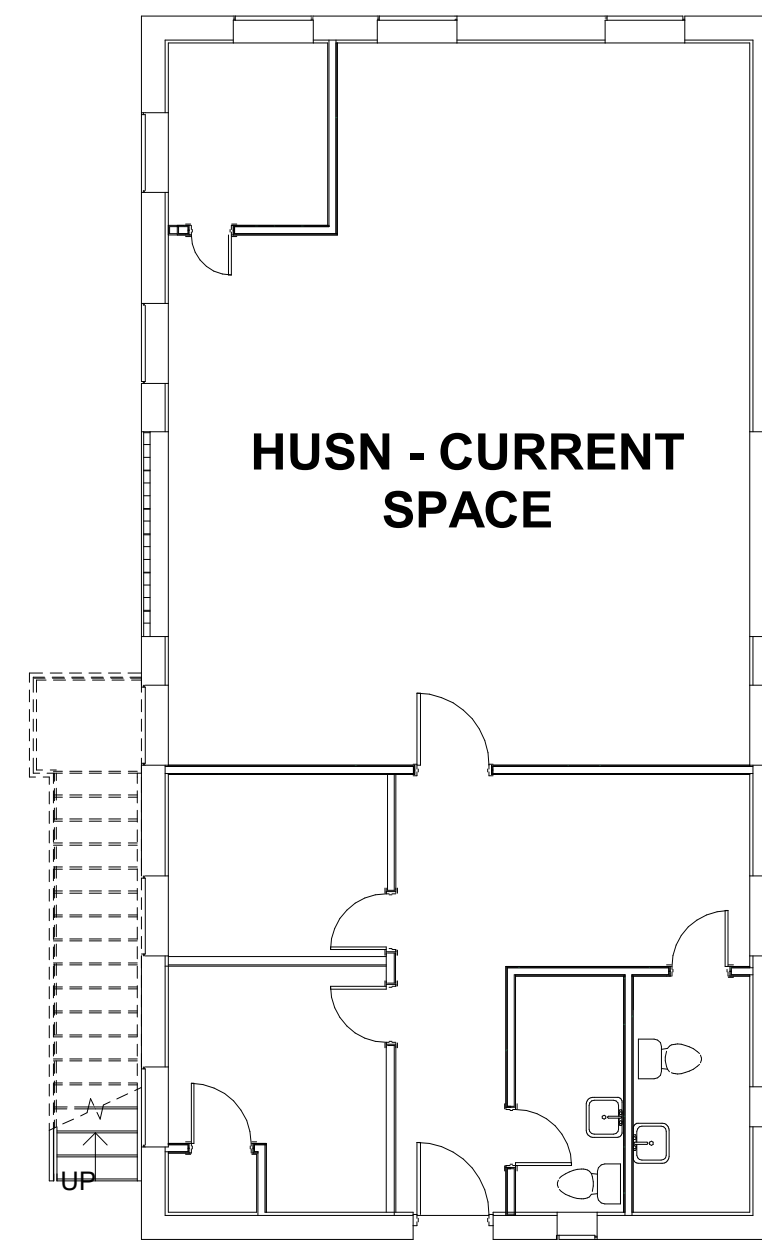
GENERAL DEMOLITION NOTES

1. ALL DEMOLITION SHALL BE SAW CUT TO NEAT, STRAIGHT LINES FOR JOINING NEW WORK TO EXISTING.
2. ALL DEMOLITION SHALL BE VERIFIED AND COORDINATED WITH NEW CONSTRUCTION AS DOCUMENTED.
3. CONTRACTOR SHALL PROVIDE AND INSTALL DUST AND DEBRIS PROTECTION IN ALL AREAS OF EXISTING STRUCTURE WHERE NO WORKS IS TO TAKE PLACE. UPON COMPLETION OF WORK DEMOLISH AND REMOVE PROTECTION.
4. CONTRACTOR SHALL RETAIN FIRE RATING AT ALL EXISTING RATED WALLS. ANY AND ALL OPENINGS OR PENETRATIONS LEFT AFTER DEMOLITION MUST BE INFILLED AND/OR SEALED AS REQUIRED BY APPLICABLE CODES.



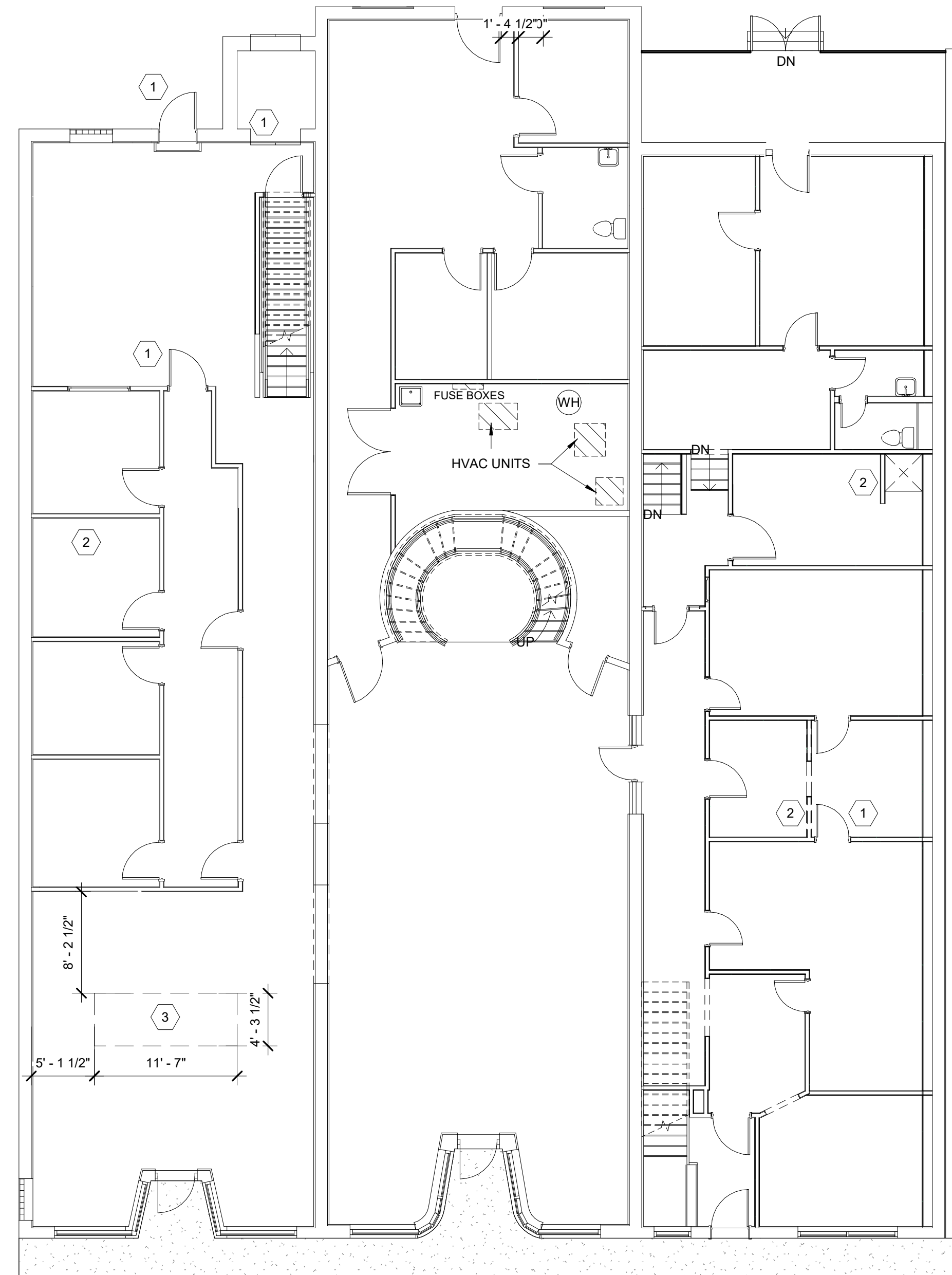
KEYED NOTES :

- 1 - REMOVE DOOR, HARDWARE AND DOOR FRAME.
- 2 - DEMO EXISTING WALLS, ELECTRICAL BOXES AND DEVICES (NOTE: LICENSED ELECTRICIAN SHALL PERFORM ALL ELECTRICAL ITEMS)
- 3 - CREATE FLOOR OPENING, REFER TO NEW FLOOR PLAN

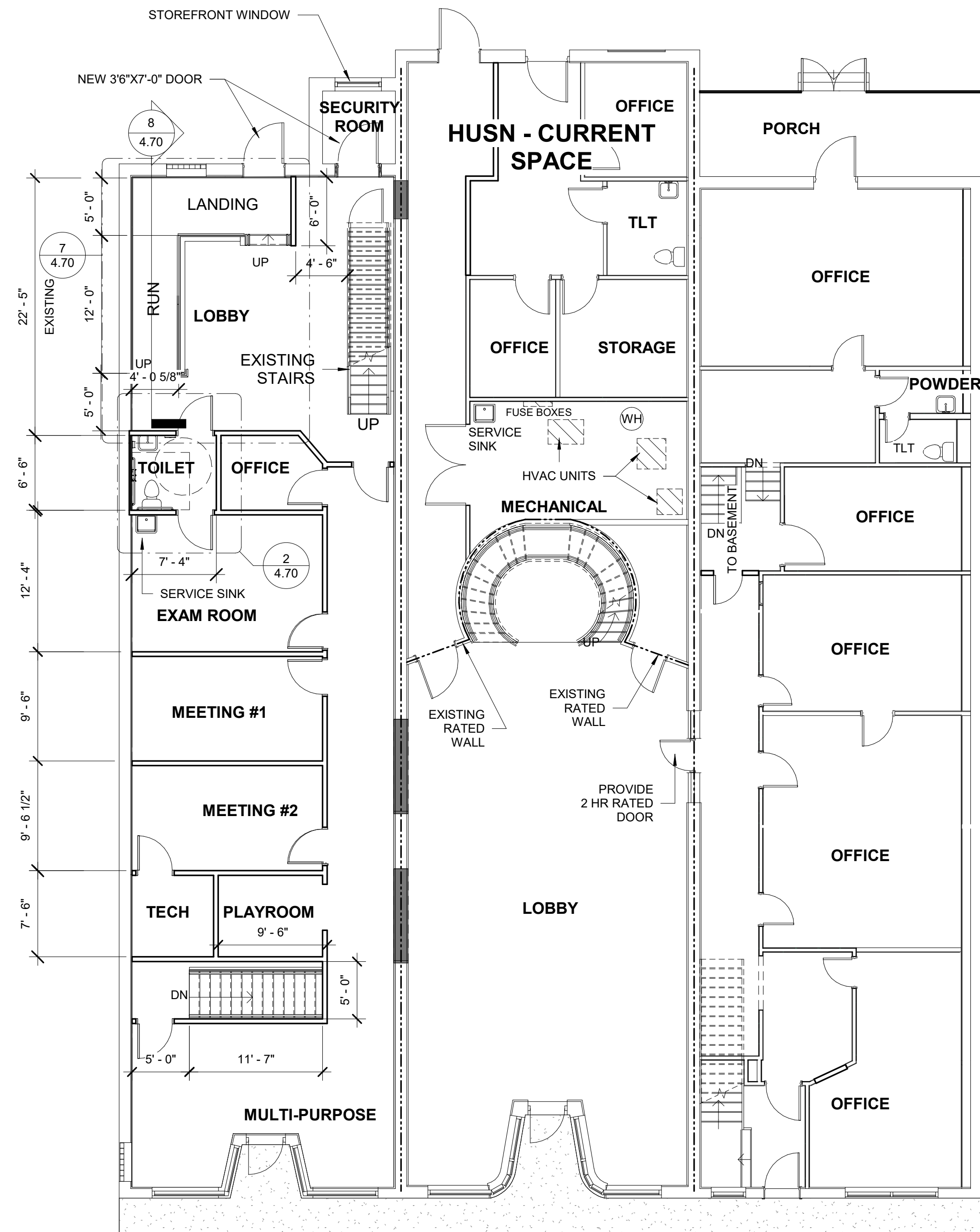


NOTE:

- SEE 2-HR RATED WALL ASSEMBLY
- EXISTING 2-HR RATED WALL



1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"



2 FIRST FLOOR PLAN
1/8" = 1'-0"

Project No.
1725

Date:
11/11/2023 3:18:35 PM
Drawn:
GC
Checked by:
JCS
Revisions:
1. 2022.09.30
Owner revision
2. 2023.01.11
Inspection and owner
revisions

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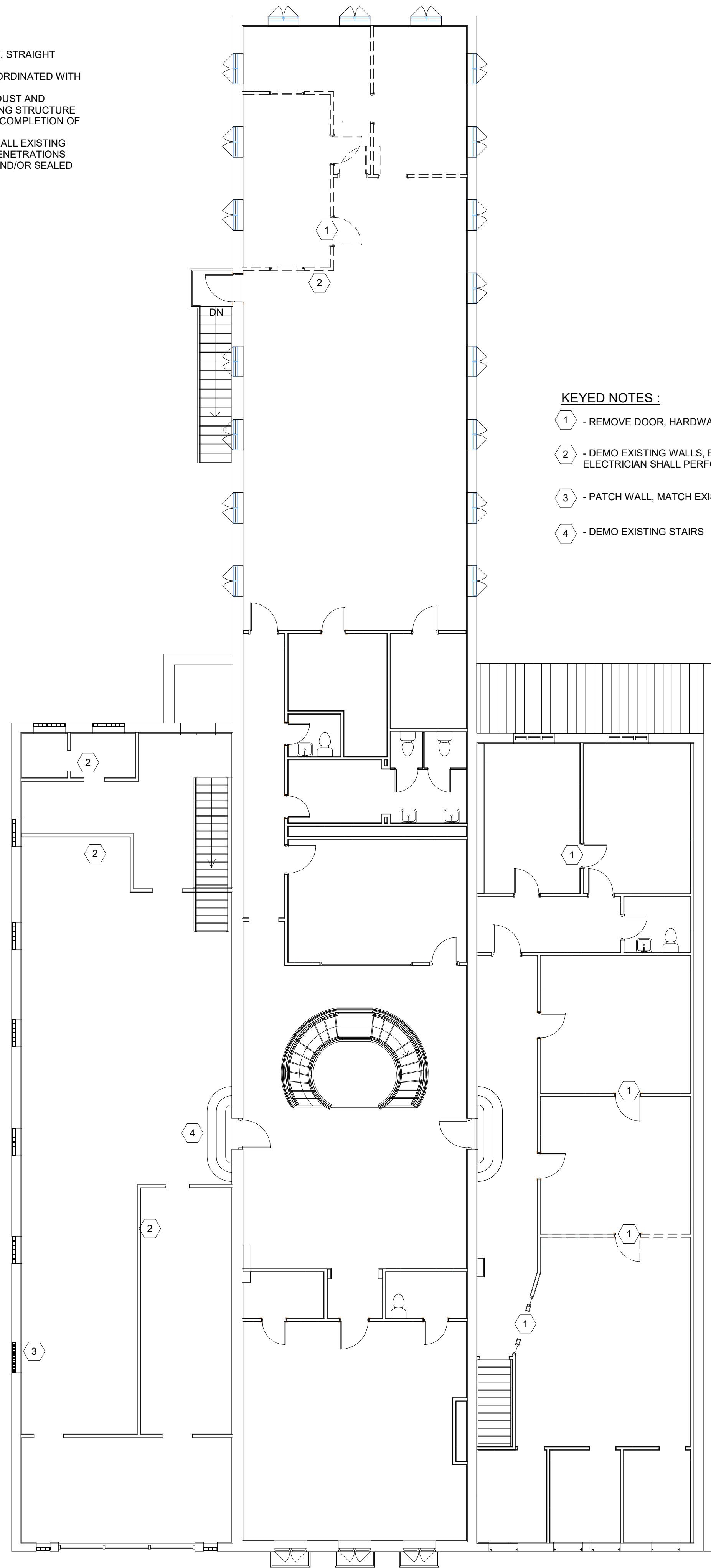


PENEGAR BUILDING
176 W FRANKLIN BLVD, GASTONIA, NC
FIRST FLOOR PLAN

Sheet No.
4.11

GENERAL DEMOLITION NOTES

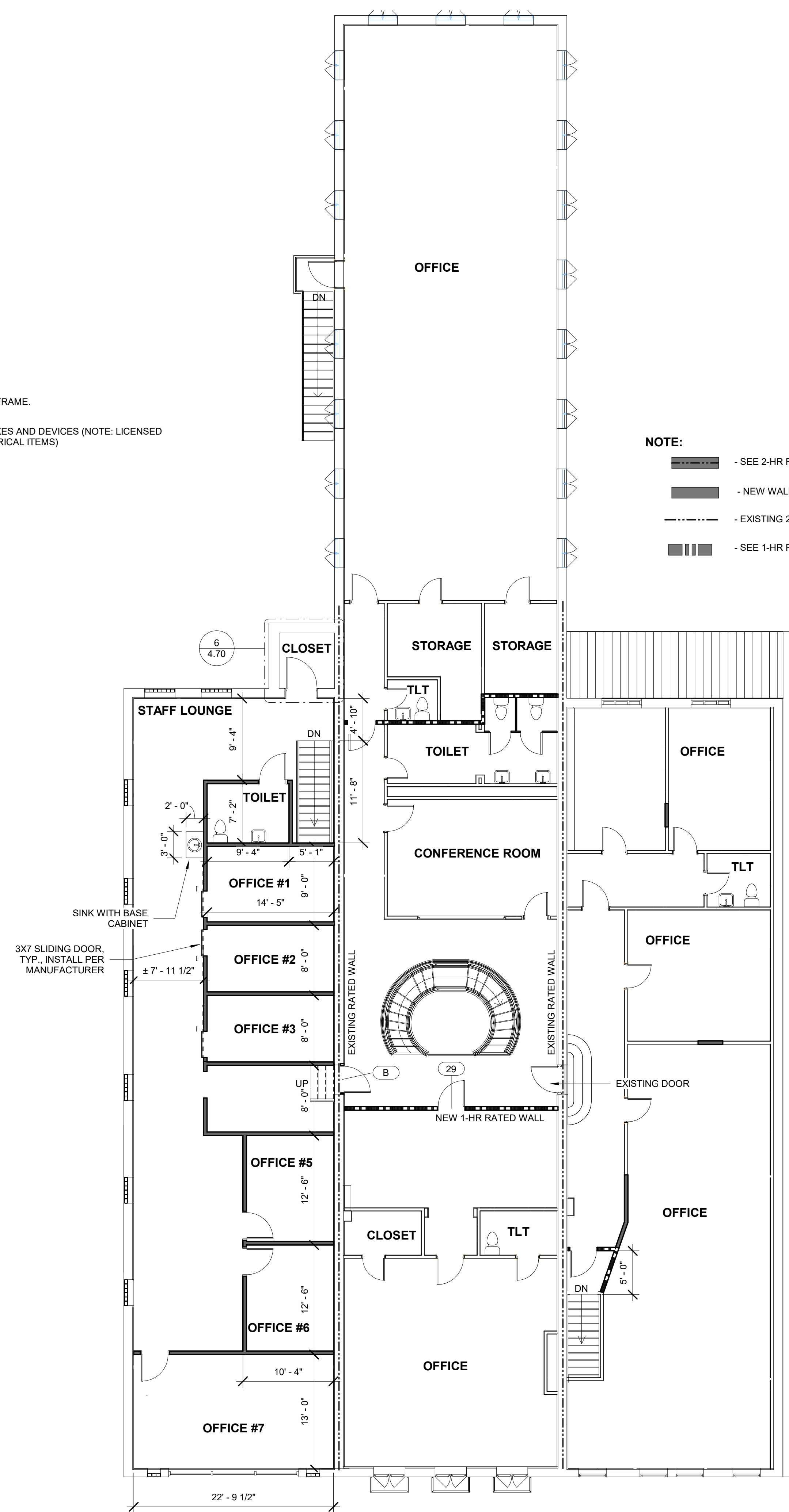
1. ALL DEMOLITION SHALL BE SAW CUT TO NEAT, STRAIGHT LINES FOR JOINING NEW WORK TO EXISTING.
2. ALL DEMOLITION SHALL BE VERIFIED AND COORDINATED WITH NEW CONSTRUCTION AS DOCUMENTED.
3. CONTRACTOR SHALL PROVIDE AND INSTALL DUST AND DEBRIS PROTECTION IN ALL AREAS OF EXISTING STRUCTURE WHERE NO WORKS IS TO TAKE PLACE. UPON COMPLETION OF WORK DEMOLISH AND REMOVE PROTECTION.
4. CONTRACTOR SHALL RETAIN FIRE RATINGS AT ALL EXISTING RATED WALLS. ANY AND ALL OPENINGS OR PENETRATIONS LEFT AFTER DEMOLITION MUST BE INFILLED AND/OR SEALED AS REQUIRED BY APPLICABLE CODES.



1 SECOND FLOOR DEMO PLAN
1/8" = 1'-0"

KEYED NOTES:

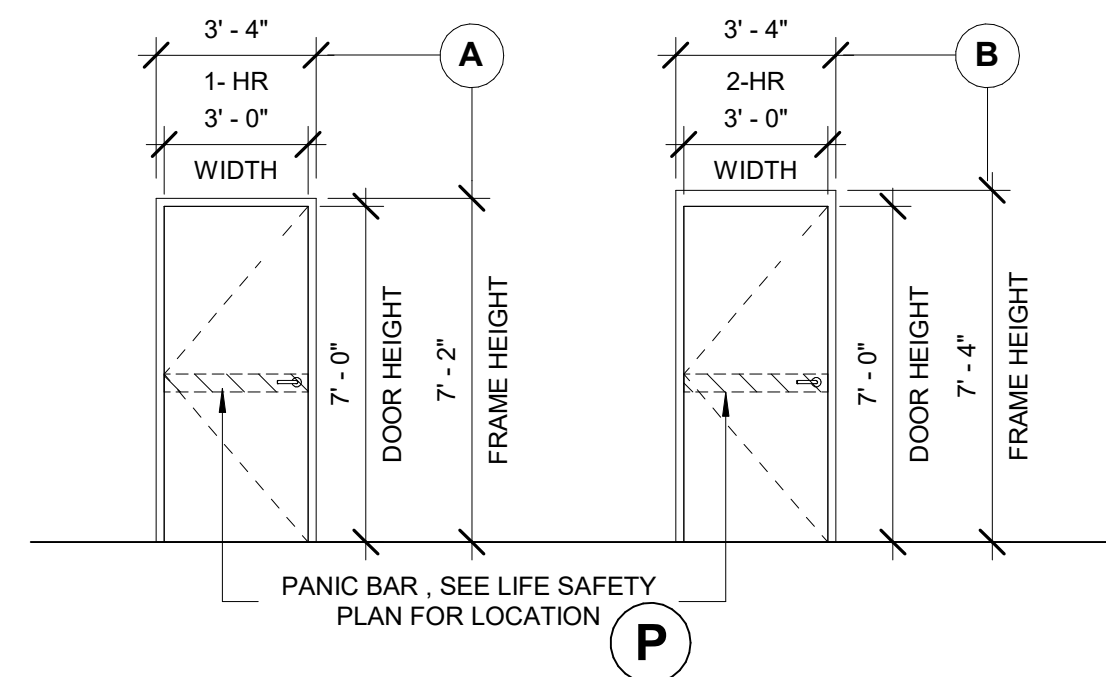
- 1 - REMOVE DOOR, HARDWARE AND DOOR FRAME.
- 2 - DEMO EXISTING WALLS, ELECTRICAL BOXES AND DEVICES (NOTE: LICENSED ELECTRICIAN SHALL PERFORM ALL ELECTRICAL ITEMS)
- 3 - PATCH WALL, MATCH EXISTING
- 4 - DEMO EXISTING STAIRS



2 SECOND FLOOR PLAN
1/8" = 1'-0"

NOTE:

- SEE 2-HR RATED WALL ASSEMBLY
- NEW WALL ASSEMBLY
- EXISTING 2-HR RATED WALL
- SEE 1-HR RATED WALL ASSEMBLY



DOOR TYPE
1/4" = 1'-0"

Project No.
1725

Date:
11/17/2023 3:18:36 PM
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Checked by:
JCS

Revisions:
1. 2022.09.30
Owner revision
2. 2023.01.11
Inspection and owner
revisions

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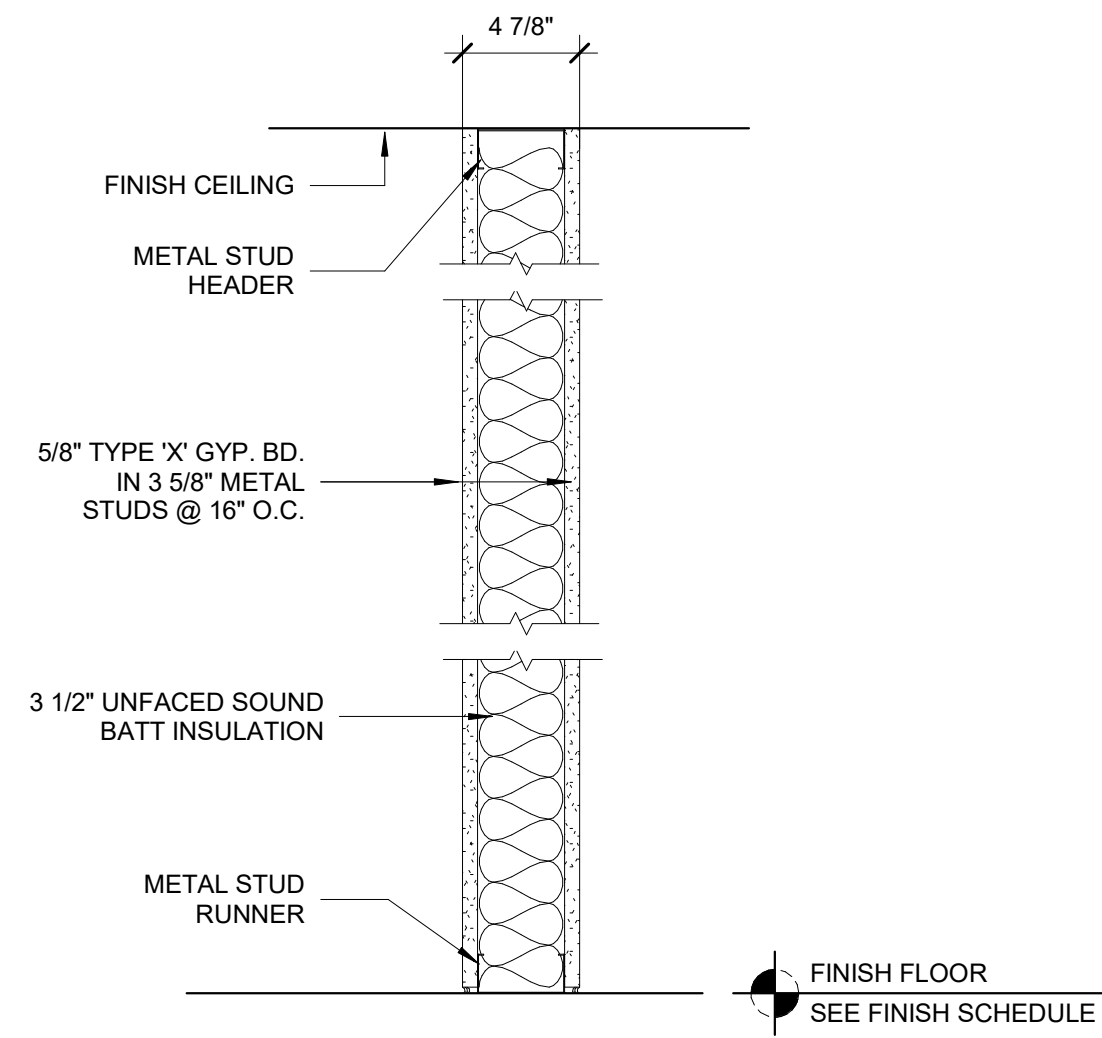
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05/02/2022

PENEGAR BUILDING
176 W FRANKLIN BLVD, GASTONIA, NC
SECOND FLOOR PLAN

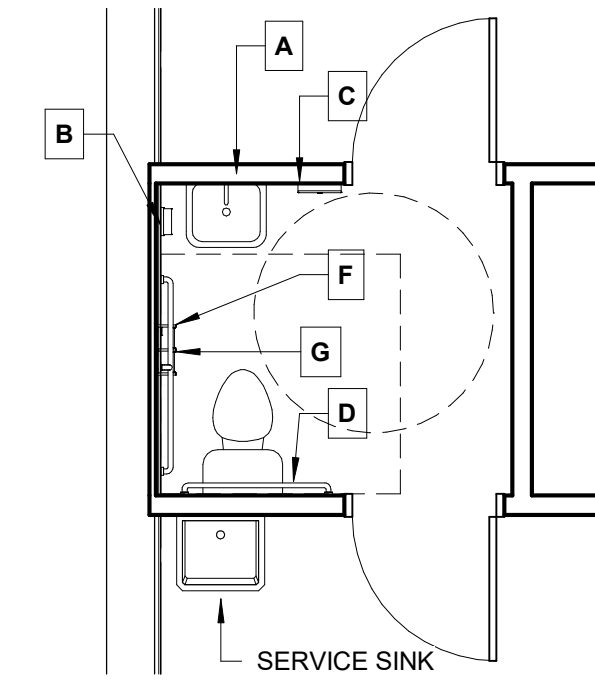
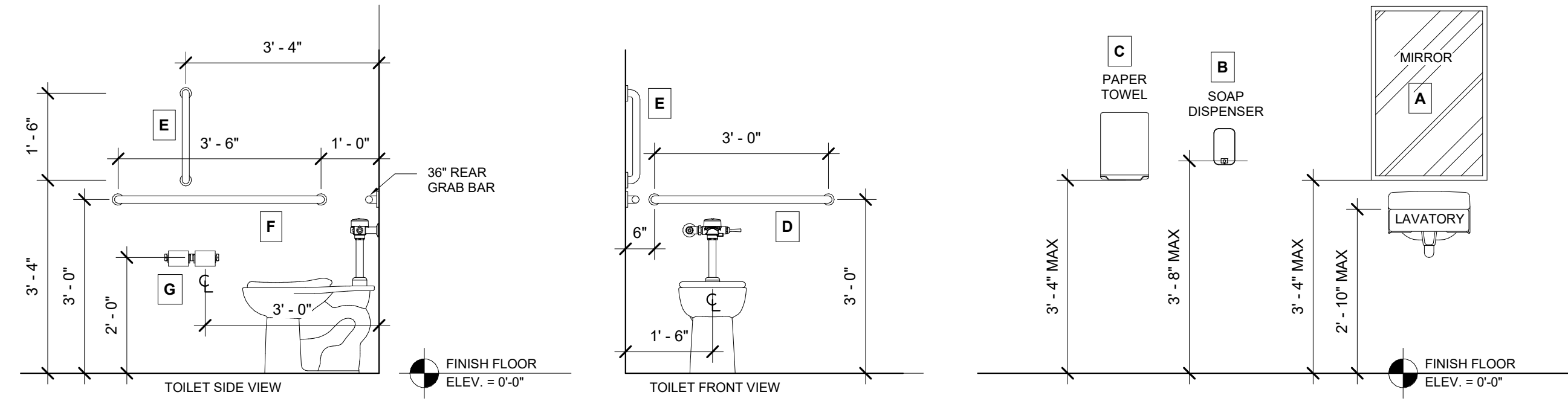
Sheet No.
4.12

WALL TYPE:

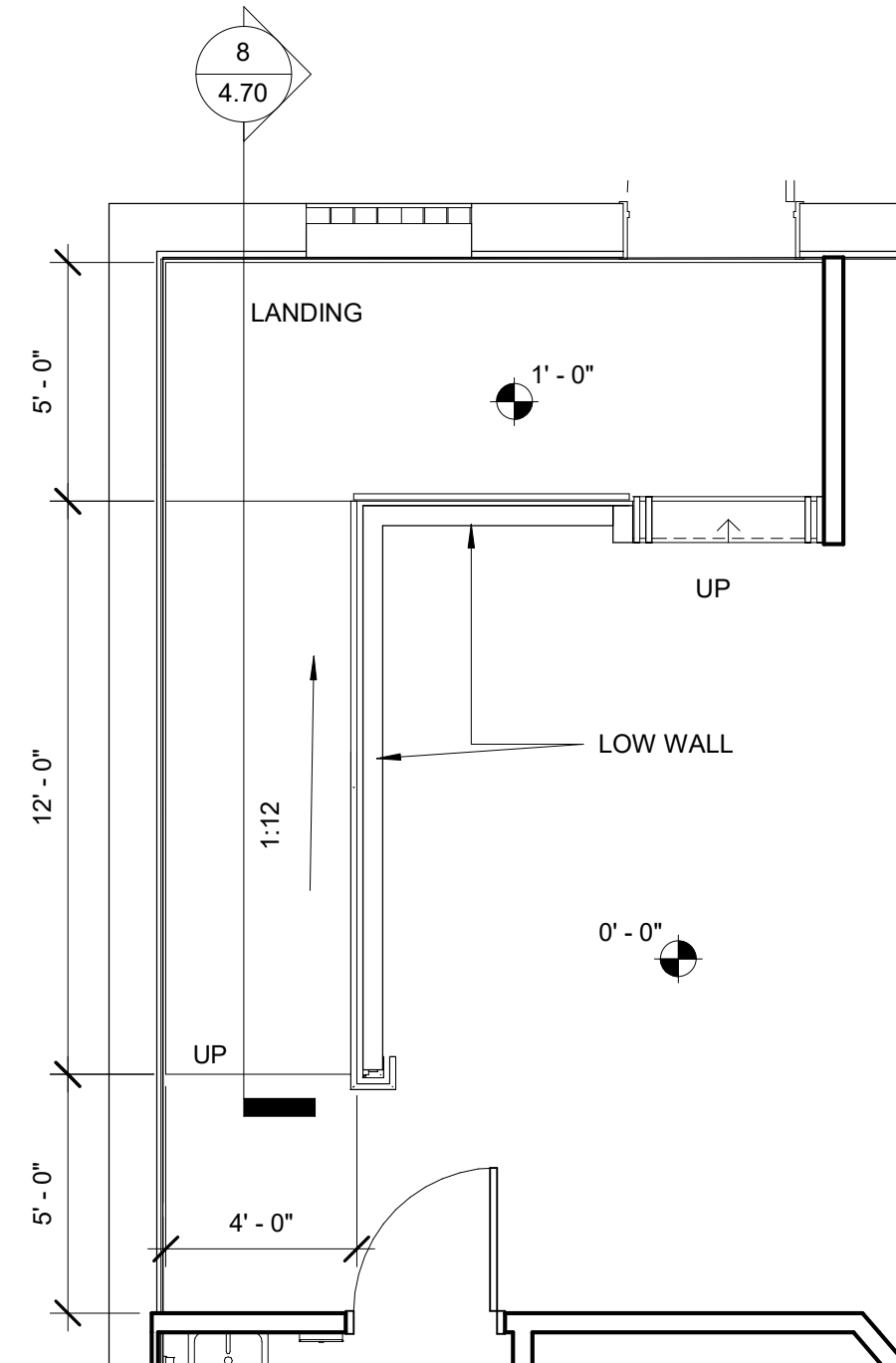


1 TYPICAL WALL ASSEMBLY
1/4" = 1'-0"

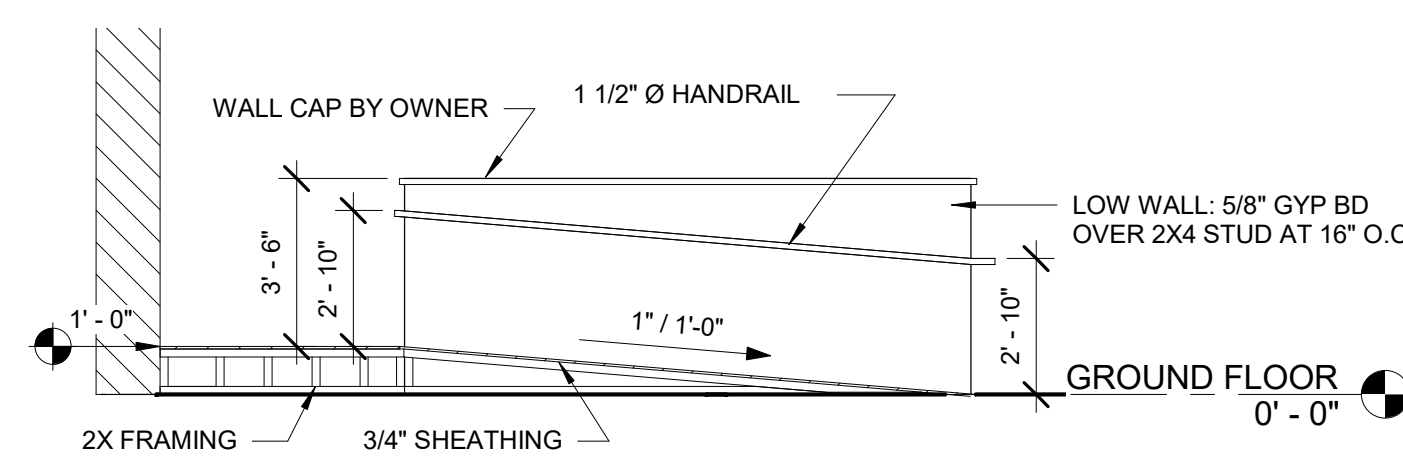
TOILET ACCESSORY MOUNTING HEIGHTS FOR HANDICAPPED



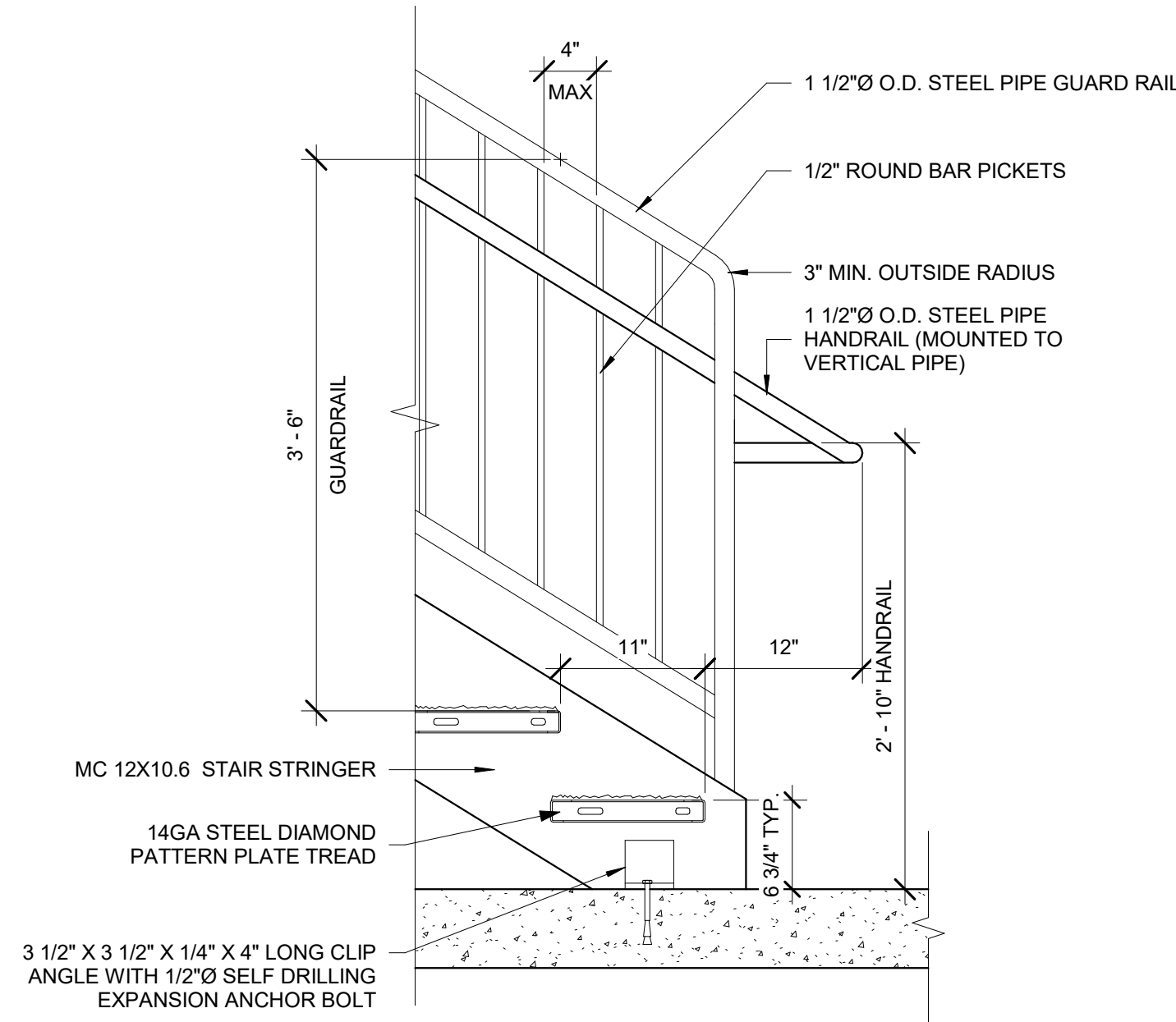
2 ENLARGED TOILET PLAN
1/4" = 1'-0"



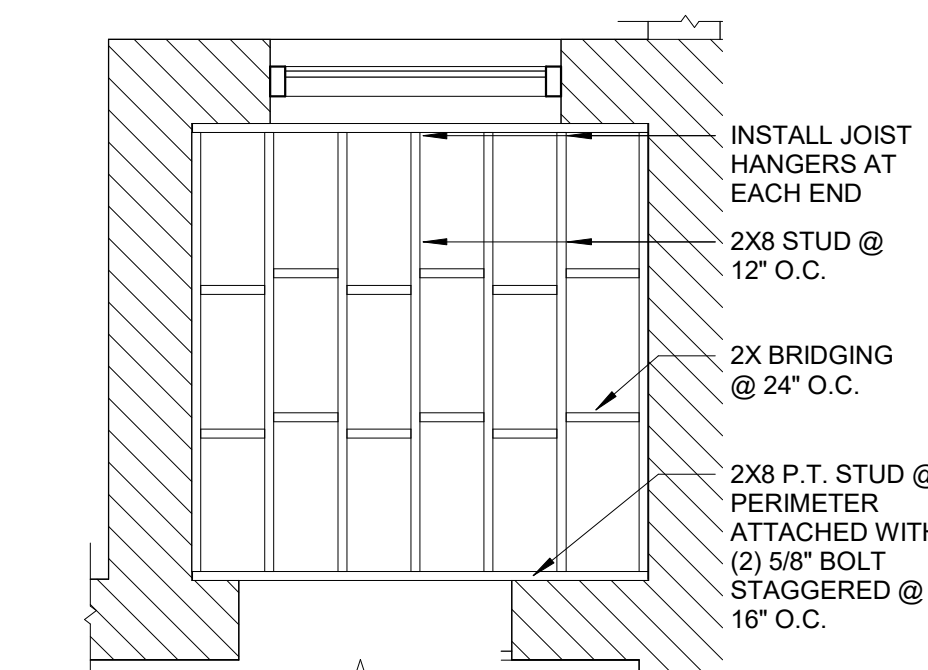
7 ADA RAMP PLAN
1/4" = 1'-0"



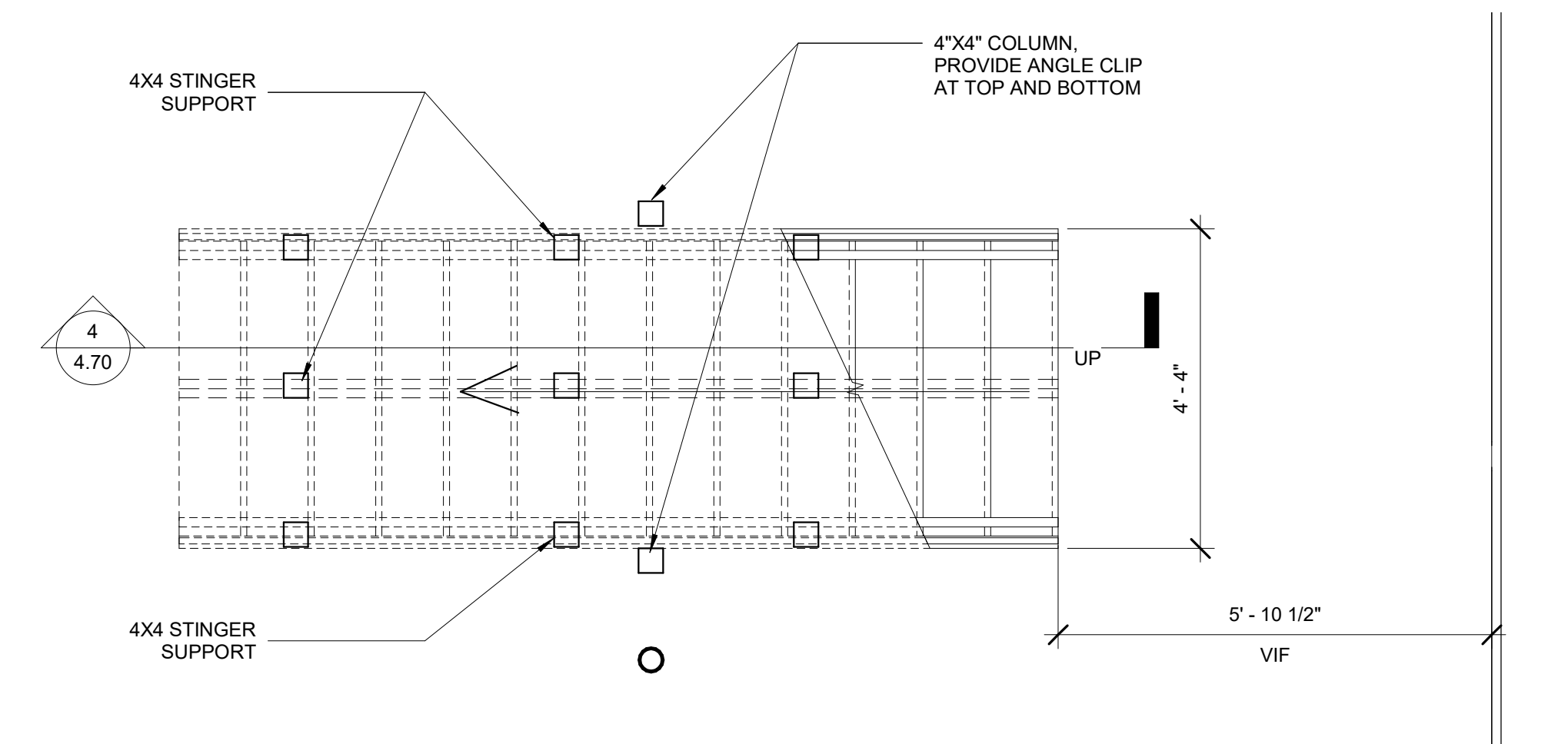
8 RAMP SECTION DETAIL
1/4" = 1'-0"



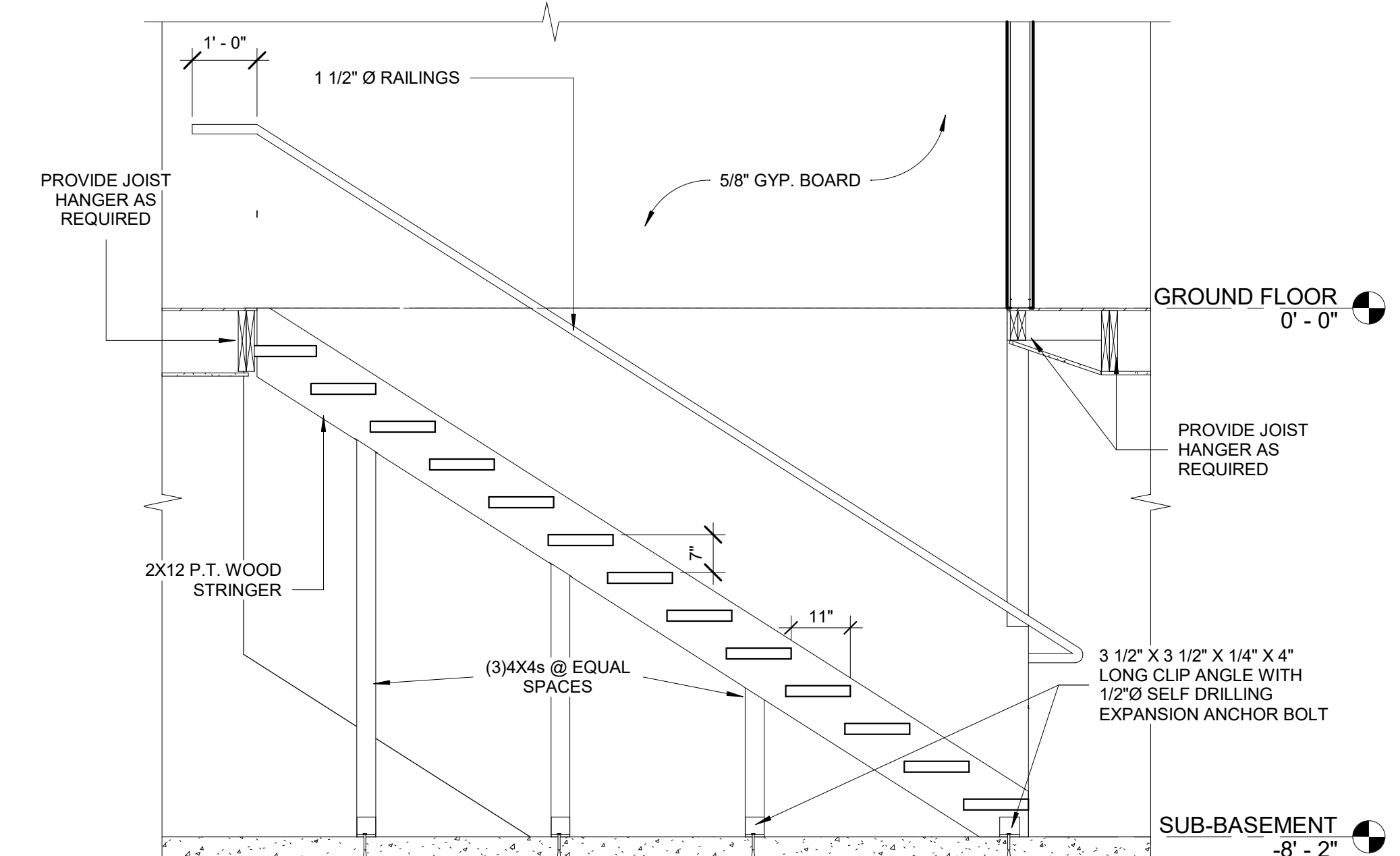
5 STAIR RAIL DETAIL
1" = 1'-0"



6 STORAGE ROOM FRAMING PLAN, TYP.
3/8" = 1'-0"



3 BASEMENT STAIR PLAN
1/2" = 1'-0"



4 STAIR SECTION DETAIL
1/2" = 1'-0"